



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

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CITY OF NEWPORT BEACH

ZONING ADMINISTRATOR STAFF REPORT

May 30, 2013

Agenda Item No. 3

SUBJECT: The Bluffs Shopping Center Sign Program Amendment (PA2013-055)
1300 Bison Avenue

- Modification Permit No. MD2013-006
- Comprehensive Sign Program No. CS2013-002

APPLICANT: The Irvine Company

PLANNER: Rosalinh Ung, Associate Planner
(949) 644-3208, rung@newportbeach.ca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zoning District:** Commercial, Sub-Area 5 of the Bonita Canyon Planned Community (PC-50)
- **General Plan:** General Commercial (CG)

PROJECT SUMMARY

The applicant proposes an amendment to the Bluffs Shopping Center's comprehensive sign program to allow two (2) additional project identification wall signs and two (2) new vehicular-oriented directional signs and the approval of a modification permit to allow the proposed vehicular-oriented directional signs to exceed the permitted size and height.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. 2013-__, approving Comprehensive Sign Program Amendment No. CS2013-002 and Modification Permit No. MD2013-006 (Attachment No. ZA 1).

DISCUSSION

- The Bluffs Shopping Center (Center) is part of the Bonita Canyon Planned Community, which was annexed from the City of Irvine to the City of Newport Beach in 1999.
- In 2001, a sign program was approved for the Center that identifies criteria for six (6) sign types, including the number, location, sign content, and individual design specifications for each sign type. An amendment to this sign program was approved in 2003, to allow the increase of sign area for Sign Type C (tenant wall signs).
- The Irvine Company is requesting an amendment to the existing sign program to allow the following:
 - Two (2) additional Project Identification Signs (Sign Type A). These signs would be wall signs; each approximately 49 square feet in size (4 ft x 12 ft 3 in); and to be mounted on the exterior sides of the Center's northern and eastern-most buildings, facing MacArthur Boulevard and Bison Avenue (see Exhibits G3-G6). The proposed wall signs are within the permitted 120 square feet for each sign. The purpose of this request is to allow additional signage to promote visibility of the Center to vehicular traffic travelling on Bison Avenue and MacArthur Boulevard. The existing sign program allows a maximum of two project identification signs, either as wall signs and/or monument signs. With the proposed addition, there would be two (2) wall signs and two (2) monument signs for a total of four (4) Project Identification Signs.
 - Two (2) Vehicular-oriented Directional Signs (Sign Type G). Each of the proposed vehicular-oriented directional signs would be approximately 14.88 square feet in size (3.50 ft x 4.25 ft) and 7.25 ft in height. These new signs will be located within the Center's existing landscape planters and will be facing incoming traffic from the two points of ingress to the shopping center from Bison Avenue (see Exhibits G7-G8). The purpose of these signs is to help motorist find the most direct path to their desired destination and to improve internal traffic circulation within the shopping center, thereby reducing traffic and parking impact during the Center's peak operating hours.
- The vehicular-oriented directional signs are exempt from the sign permit requirement per Section 20.42.100.B.1.S of the Zoning Code with a provision that the maximum sign allowance be limited to 3 square feet in size and 4 feet in height. Due to the proposed size and height of these signs, an approval of a modification permit is required.

- The granting of a modification is necessary to best convey sign content and to provide correct directions to patrons and to improve vehicular circulation within the Center.
- The proposed vehicular-oriented directional signs have been reviewed and approved by the Public Works Department to ensure compliance with the site distance requirements.

ENVIRONMENTAL REVIEW

The project qualifies for a Class 11 (Accessory Structures) categorical exemption of the California Environmental Quality Act because it involves the construction of wall and vehicular-oriented directional signs which is incidental and accessory to the principal commercial use of the property and does not intensify or alter the use.

PUBLIC NOTICE

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared upon the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD

An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Prepared by:


Rosalinh Ung
Associate Planner

GRAMIREZ/ru

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA 2013-0##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING AN AMENDMENT TO THE BLUFFS SHOPPING CENTER'S COMPREHENSIVE SIGN PROGRAM TO ALLOW TWO ADDITIONAL PROJECT IDENTIFICATION WALL SIGNS AND TWO NEW VEHICULAR-ORIENTED DIRECTIONAL SIGNS AND MODIFICATION PERMIT TO ALLOW THE VEHICULAR-ORIENTED DIRECTIONAL SIGNS TO EXCEED THE PERMITTED SIZE AND HEIGHT LOCATED AT 1300 BISON AVENUE (PA2013-055)

THE ZONING ADMINSTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by The Irvine Company, with respect to property located at 1300 Bison Avenue, and legally described as Parcel 1 of Parcel Map No. 2001-140, recorded in Book 326 Pages 48-50 by the County Recorder on July 5, 2002, requesting approval of comprehensive sign program amendment and modification permit for the Bluffs Shopping Center (Center).
2. The applicant proposes an amendment to the existing comprehensive sign program to allow two (2) additional project identification wall signs (Sign Type A) and to allow two new vehicular-oriented directional signs (Sign Type G). A modification permit is required to allow the proposed vehicular-oriented directional signs to exceed the premitted size and height.
3. The subject property is located within the Commercial, Sub-Area 5 of the Bonita Canyon Planned Community and the General Plan Land Use Element category is General Commercial (CG).
4. The subject property is not located in the Coastal zone.
5. A public hearing was held on May 30, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor), 100 Civic Center Drive, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. The project has been reviewed, and it qualifies for a categorical exemption pursuant to Section 15311 of the California Environmental Quality Act under Class 11 (Accessory Structures) of the Implementing Guidelines of the California Environmental Quality Act.

2. Class 11 includes construction or replacement of minor structures such as on-premise signs accessory to (appurtenant to) the existing retail commercial shopping center. The proposed wall and vehicular-oriented directional signs are incidental and accessory to the principal use of the property and does not intensify or alter the use.

SECTION 3. REQUIRED FINDINGS.

Modification Permit

In accordance with Section 20.52.050 E. (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the finding for a Modification Permit are set forth:

Finding

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Fact in Support of Finding

- A1. The subject property is located within the Commercial, Sub-Area 5 of the Bonita Canyon Planned Community and the General Plan Land Use Element category is General Commercial (CG). Commercial, Sub-Area 5 of the Bonita Canyon Planned Community is intended to provide a variety of community commercial developments which is consistent with the General Commercial land use designation. The proposed signage is accessory to the primary use.
- A2. Municipal Code Section 20.42.100B.1.S allows vehicular-oriented directional signs with a maximum sign area of 3 square feet. and a maximum height of 4 feet. The signs shall be solely for the purpose of guiding traffic, parking, and loading on private property subject to approval by the Public Works Department. The proposed vehicular-oriented directional signs would be mounted on a 3-foot high square foot post and the dimensions of each sign would be a maximum 4.25 feet in height and a maximum width of 3.50 feet (14.88 sq. ft. maximum sign area). The proposed design of the vehicular-oriented directional signs will allow a sign of sufficient height and area to best convey sign content and the correct directions to achieve the goal of improving vehicular circulation for traffic which has entered the Center. The location of the proposed vehicular-oriented directional signs will be internal to the Center, cannot be viewed from either MacArthur Boulevard or Bison Avenue, and will not have any impact on the surrounding neighborhood or other existing developments. The Public Works Department has reviewed and approved the location, size and height of the proposed vehicular-oriented directional signs to ensure that the site distance requirements have been met.
- A3. The proposed vehicular-oriented directional signs do not constitute or contribute to a significant proliferation of signs which would be inconsistent with the neighborhood character.

Finding

B. The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.

Fact in Support of Finding

- B1. Vehicular access to the Center is limited to two driveways, both of which are on Bison Avenue and approximately within 200 feet of each other. There is no vehicular access to the Center from MacArthur Boulevard. Since access to the Center is only available on Bison Avenue, the proposed vehicular-oriented directional signage will improve the flow of vehicles entering these driveways and minimize vehicle stacking upon entering the Center from Bison Avenue and at the entrance to the main parking lot.
- B2. The business establishments in the Center are oriented inward and away from Bison Avenue. They also oriented toward MacArthur Boulevard from which there is no vehicular access. Since the points of entrance are constrained and vehicle stacking often occurs at the intersection of the two internal access drives, the location selected for the proposed vehicular-oriented directional signs will provide drivers with the most efficient pathway to their desired designations.

Finding

C. The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.

Fact in Support of Finding

1. Although the Center fronts onto MacArthur Boulevard, vehicular access to the Center is only from Bison Avenue and one of the two entry points from that roadway is limited to right turn-in/right turn-out only. Once vehicles enter the Center from Bison Avenue, two drive isles converge at the main parking lot. The proposed vehicular-oriented directional signs will thereby improve circulation from this point and reduce vehicle stacking.
2. The proposed sign area of each vehicular-oriented directional sign (14.88 sq. ft.) is appropriate to allow for sufficient sign content (directional arrows and tenant names) to accomplish the intended goal of reducing vehicular stacking.

Finding

D. There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.

Fact in Support of Finding

- D1. Municipal Code Section 20.42.100.B.1.S allows for a maximum sign area of 3 square feet for vehicular-oriented directional signs. The Section does not allow for both directional arrows and tenant names of the Center's establishments. The proposed vehicular-oriented directional signs are consistent with the intent of the Municipal Code by serving the purpose of guiding traffic, parking and loading on private property. The larger sign will accommodate these multiple functions. The proposed signs have been reviewed and approved by the Public Works Department to ensure that the site distance requirements have been met and they will not pose a detriment to the surrounding neighborhood or the general public.

Finding

- E. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Fact in Support of Finding

- E1. The vehicular-oriented directional signs will be constructed on private property and will neither change the density or intensity of the existing commercial use nor affect the flow of light or air to adjoining properties.
- E2. The vehicular-oriented directional signs are not excessive in height, area, or length and they will improve the flow of vehicles accessing the main parking lot, reduce stacking at the confluence of the two entry driveways and therefore will not be detrimental to public health or safety.

Comprehensive Sign Program

Pursuant to Section 20.42.120.F (Revisions to Comprehensive Sign Programs) of the Zoning Code, an approval of the revision to a Comprehensive Sign Program is required when the proposed new signage is not included or being considered as part of the original approval. The following standards and facts in support of such standards are set forth:

Standard:

- A. The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42: Signs], any adopted sign design guidelines and the overall purpose and intent of this Section [Section 20.42.120].*

Facts in Support of Standard:

- A1. In compliance with the purpose and intent of the Zoning Code and the Bluffs Shopping Center sign program, the proposed amendment provides adequate identification

without excessive proliferation of signage. The proposed sign program amendment will allow the addition of two wall signs and two vehicular-oriented directional signs. The existing sign program allows for monument and/or wall signs. The two proposed project identification wall signs will be facing existing frontages on MacArthur Boulevard and Bison Avenue where no signs currently exist. The two vehicular-oriented directional signs represent a new sign type to be installed internal to the Center and not visible from either Bison Avenue or MacArthur Boulevard. Moreover, the proposed amendment carries forward signage of a design type consistent with the high quality conveyed by the existing signage, architecture, and landscaping of the Center.

Standard:

- B. The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard:

- B1. The Center is developed with commercial tenant frontages oriented either inward and away from Bison Avenue or facing MacArthur Boulevard. The access to the Center; however, is limited to two existing driveways on Bison Avenue. Moreover, the Center is located on the boundary between the cities of Newport Beach and Irvine and separated from other development areas by Bison Avenue, MacArthur Boulevard, and the 73 Freeway. This location has created a challenge for project identification, particularly for traffic entering Newport Beach from MacArthur Boulevard and Bison Avenue. The addition of two wall signs at the proposed locations will identify the Center to incoming traffic to Newport Beach.
- B2. Since access to the Center is limited and only accessible from Bison Avenue, the proposed vehicular-oriented directional signage will improve the flow of vehicles entering these driveways and minimize vehicle stacking upon entering the Center.

Standard:

- C. The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard:

- C1. The existing sign program for the Center identifies criteria for six sign types, including the number of signs for each sign type, the location of each sign, sign content and the individual design criteria for each sign type. The proposed amendment will allow for two additional wall signs consistent with the dimensions allowed by the existing sign program. The proposed vehicular-oriented directional signs represent a new sign type not envisioned when the existing sign program was approved. The location of the

vehicular directional signs is specified along with the design criteria. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42.

Standard:

- D. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard:

- D1. The existing sign program specifies the Center and tenant identification signs as to the size, content, number and location within the Center. There are no proposed changes to the tenant identification sign criteria in this proposed sign program amendment.
- D2. Consistent with Chapter 20.42, the Director [or his/her designee] may approve minor revisions to the sign program if the intent of the original approval is not affected.

Standard:

- E. The program shall comply with the standards of this Chapter, except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter.*

Facts in Support of Standard:

- E1. The sign program amendment requests an increase in the number of project identification wall signs and new vehicular-oriented directional signs, and deviation in the size and height of the vehicular-oriented directional signs. The amendment request will provide more visibility of the commercial tenants from the public roadways, improve vehicular circulation, and better directions to the patrons once entering the Center.
- E2. The proposed amendment to the existing Sign Program for the Center is consistent with Zoning Code Section 20.42.120.F. Also, this amendment is being processed concurrently with a Modification Permit consistent with Zoning Code Section 20.52.050 to allow the new sign type, Vehicular Directional sign, larger than the Code allowance.

Standard:

- F. The Approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter.*

Facts in Support of Standard:

F1. The program does not authorize the use of prohibited signs.

Standard:

G. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard:

G1. The proposed sign program amendment contains no regulations affecting sign message or content. The existing sign program for the Center establishes the general content of all approved sign types. The proposed amendment to the sign program carries forward the design criteria established upon the adoption of the original sign program and reinforces the high quality conveyed by the existing building architecture of the Center.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Comprehensive Sign Program No. CS2013-002 and Modification Permit No. MD2013-006, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. Comprehensive Sign Program for the Bluffs Shopping Center shall be amended as provided in Exhibit "B", with all other provisions of the existing sign program remaining unchanged and in full force and effect.
3. This action shall become final and effective fourteen (14) days after adoption of this Resolution unless within the same time an appeal is filed with the Community Development Director in accordance with the provisions of the Title 20 of the Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 30TH DAY OF MAY, 2013.

By: _____
Brenda Wisneski, AICP, Zoning Administrator

EXHIBIT “A”

CONDITIONS OF APPROVAL

1. The development shall be in substantial conformance with the approved site plan, building elevations, and sign details stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. Upon demolition or substantial structural and nonstructural changes to the exterior of the development on which this approval is based, this Comprehensive Sign Program and Modification Permit shall be rendered nullified and a new Comprehensive Sign Program shall be obtained for the new or altered development in accordance with the Zoning Code Provisions in effect at the time the new development is approved.
3. Locations of the signs are limited to the designated areas and shall comply with the limitations specified in the Sign Program Matrix included in Exhibit “B”.
4. All proposed signs shall be in conformance with the provisions of Chapter 20.42 (Signs) of the Newport Beach Municipal Code, except as modified by this sign program and modification permit.
5. The signs shall be illuminated in accordance with the provisions of Section 20.42.060.H of the Newport Beach Municipal Code.
6. The applicant is required to obtain all applicable permits from the City’s Building Division. The construction plans must comply with the most recent, City-adopted version of the California Building Code.
7. Comprehensive Sign Program No. CS2013-002 and Modification No. MD2013-006 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
8. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
9. This Comprehensive Sign Program and Modification Permit may be modified or revoked by the Zoning Administrator if it is determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
10. A copy of the Resolution, including Exhibit “A” (Conditions of Approval) and Exhibit “B” (Sign Program Matrix) shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.

11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
12. Sign Type A (Project Identification) shall be limited to a maximum of four (4) signs: 2 monument signs and 2 wall signs. The size and location of these signs shall comply with the limitations specified in the Sign Exhibits G1 and G3-G6 which shall be incorporated into the Sign Program Matrix.
13. Sign Type G (Vehicular-oriented Directional Sign) shown on Exhibit G1, G2, and G7-G8 as Signs 3.1 and 3.2 shall be limited to a maximum of two (2) signs and subject to the following which shall be incorporated into the Sign Program Matrix:
 - a. Each sign shall be 14.88 square feet (3.50 ft x 4.25 ft) in size.
 - b. The Sign 3.1 shall be limited to 8.25 feet in height, measured from the top of the sign to the base of the sign post. The ground covers within the existing landscaping area where Sign 3.1 will be located shall be trimmed regularly to maintain a minimum 3 foot site window between the bottom of Sign 3.1 to the top of the existing landscaping covers.
 - c. The height of Sign 3.2 shall be limited to 7.25 feet, measured from the top to the base of the sign post.
14. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Bluffs Shopping Center sign program amendment including, but not limited to, Comprehensive Sign Program No. CS2013-002 and Modification Permit No. MD2013-006 (PA2013-055). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

EXHIBIT “B”
The Bluffs Shopping Center Sign Program Matrix

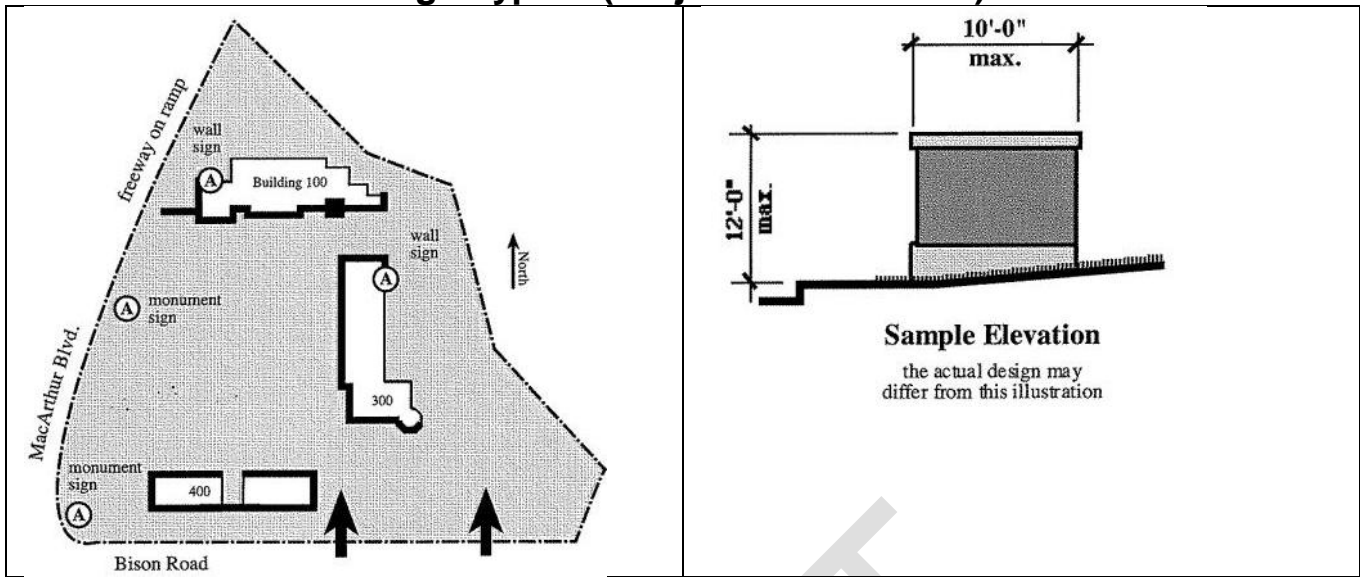
Frontage:

Primary: **Bison Avenue**
Secondary: **MacArthur Boulevard**
 73 Freeway

Sign Type A (Project Identification)	
Intent	A monument sign or a wall sign to identify the project
Content	Project name and up to three (3) tenant names
Location:	
Monument Sign:	Southwest corner of Bison Avenue and MacArthur Boulevard and West side of the main parking lot
Wall Sign:	Northwest corner of Building 100 and northeast corner of Building 300
Quantity	Two monument signs, max. <i>*Two wall signs, maximum</i>
Sign Size	
Monument Sign:	12 feet, max. height; 10 feet, max. width; 120 square feet max. sign area
Wall Sign:	4 feet, max. height; 30 feet, max. width; 120 square feet max. sign area
Margin Size	Minimum 6-inch wide blank space around sign copy of wall sign
Letter/Logo Size	48 inches high max.
Material	Compatible with architecture of retail center; individual letters, applied or routed
Illumination	Concealed, external, low-profile, floodlighting; or internally-illuminated in a manner that lights only the copy and not the sign background. Exposed neon and/or raceways are not permitted
Letter Style	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with background color

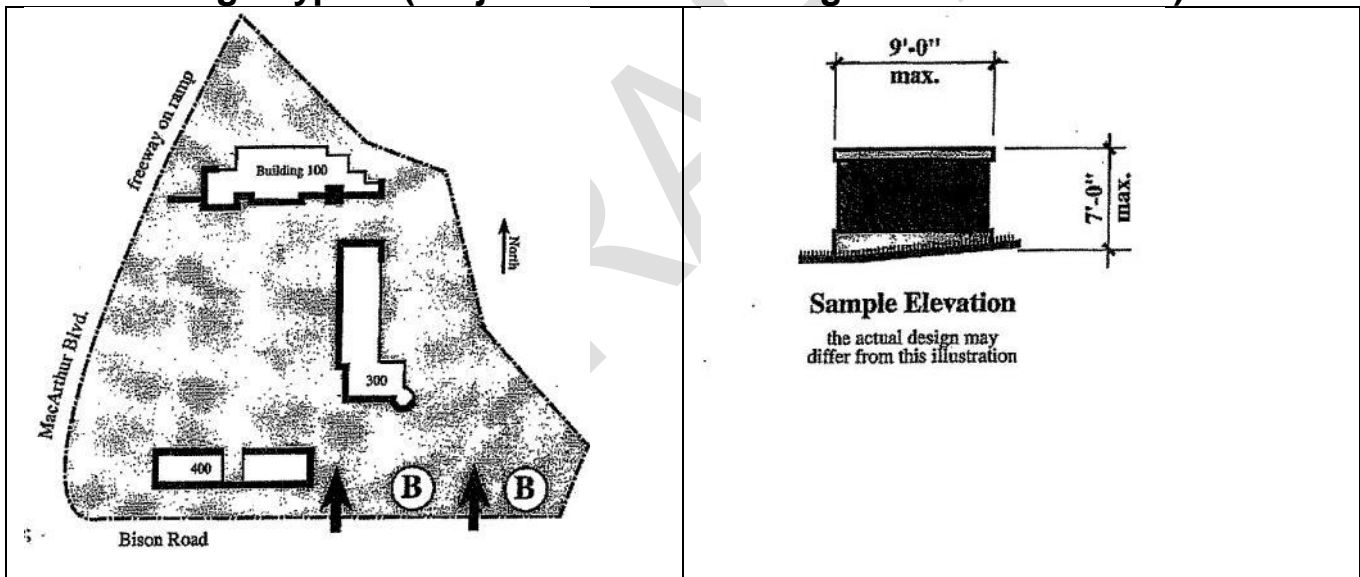
*Proposed sign addition

Sign Type A (Project Identification)



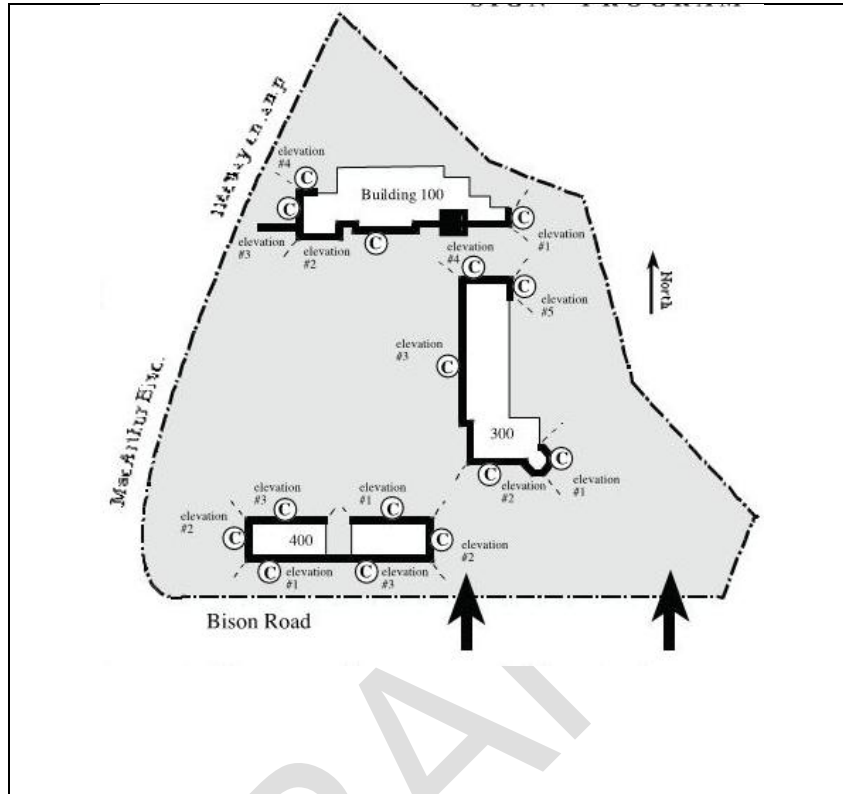
Sign Type B (Project Identification Sign on Bison Avenue)	
Intent	A monument sign to identify the project
Content	Project name and up to three (3) tenant names
Location	Either on the west or east side of the signalized entry drive off of Bison Avenue
Quantity	One
Sign Size	7 feet, max. height on short side; 9 feet, max. width
Margin Size	Minimum 6-inch wide blank space around sign copy
Letter/Logo Size	36 inches high, max.
Material	Compatible with architecture of retail center; individual letters, applied or routed
Illumination	Concealed, external, low-profile, floodlighting; or internally-illuminated in a manner that lights only the copy and not the sign background. Exposed neon and/or raceways are not permitted
Letter Style	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with background color

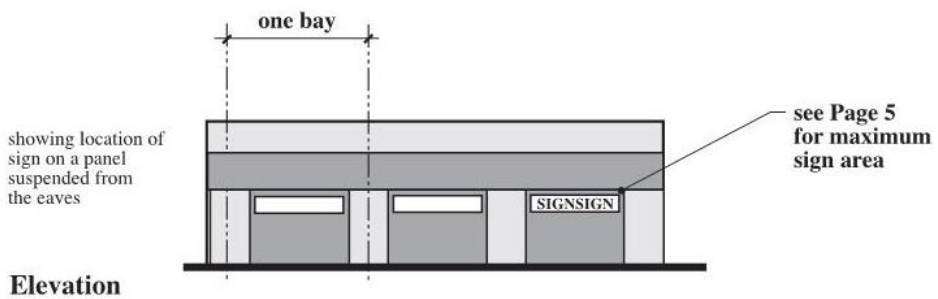
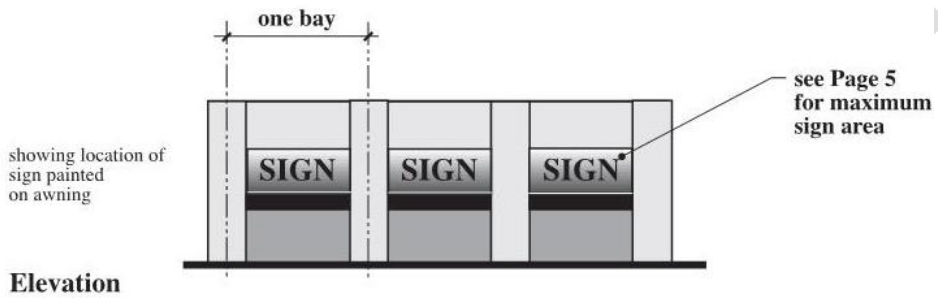
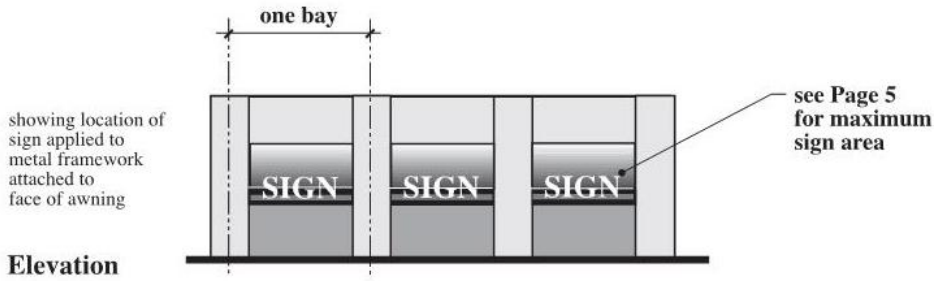
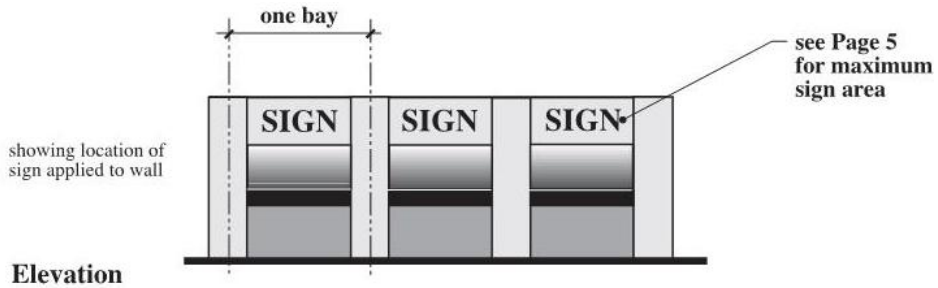
Sign Type B (Project Identification Sign on Bison Avenue)



Sign Type C and C-1 (Tenant Identification)	
Intent	A wall and/or awning sign
Content Sign C:	Trade name and/or logo.
Sign C-1:	Graphic elements related to business activity; and/or department names (such as “bakery”).
Location Sign C:	On wall, awning, and/or panel suspended from eaves at lease space, on building elevations as shown in site plan on next page. Centered in or above bays as shown on elevations on next page.
Sign C-1:	On vertical or sloping surface of awning at lease space, on elevations as shown in plan on next page.
Quantity Sign C:	One trade name sign and/or logo, max., per store frontage on elevations as shown in plan on next page.
Sign C-1:	One additional non-trade name sign for logo, graphic elements related to the business activity, or department name, maximum per bay on building elevations as shown in plan on next page.
Sign Size Sign C:	Multi-tenant buildings: 1.5 square feet for each lineal foot of the tenant’s building frontage, up to a maximum of 50 square feet. Single-tenant buildings: No more than 40% of the exposed finished wall surface area, including openings, up to a maximum of 200 square feet.
Sign C-1:	10 square feet, maximum, per bay Signs consisting of more than one component part, such as a business name and logo or other graphic element, shall be considered a single sign; and sign area shall be measured as the total area of each component part within up to two sets of parallel lines. For the purposes of this Sign Program, a single-tenant building shall be deemed any building or portion thereof in which tenants do not share a common wall.
Material Sign C:	Sign applied to wall or metal framework attached to face of awning; painted on awning; or attached to panel suspended from eaves.
Sign C-1:	Sign painted on awning.
Illumination	Internally- or externally-illuminated. Exposed neon is permitted.
Letter Style	Designated project typeface and registered trademarks allowed.
Color	Sign copy color should contrast with background color.

Sign Type C and C-1 (Tenant Identification)





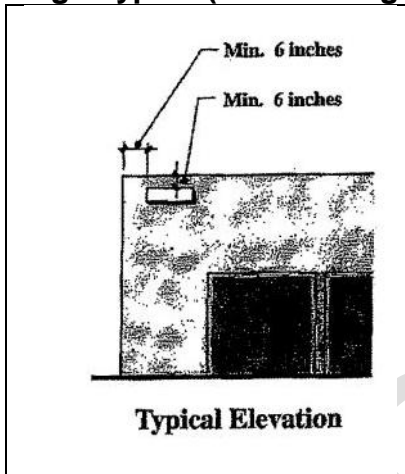
Sign Type D (Tenant Sign at Entry Door)	
Intent	A window sign to provide information to pedestrians
Content	Name of tenant and hours of operation
Location	On glass at entry door
Quantity	Maximum of one window sign per tenant
Sign Size	<p>2 square feet, max. sign area 1 foot, max. sign height 1 foot, max. sign width</p> <p>Tenant names: 2 inches, max. letter height Store hours/phone numbers: 1 inch, max. letter/number height</p>
Design	<p>Simple-white letters affixed to glass for hours of operation.</p> <p>No other signs mounted on the window or visible through the windows are permitted.</p> <p>Neon “open” signs installed inside the lease space and visible from the street or parking lot are prohibited.</p>

Sign Type E (Tenant Sign at Service Door)	
Intent	Wall sign to direct service personnel
Content	Tenant's name and space number/address
Location	At service doors
Quantity	Maximum of one sign per service door
Sign Size	2 square feet, max. sign area 1 foot, max. sign height 1 foot, max. sign width Space number/address: 3 inches, max. letter/number height Tenant name: 1 inch, max. letter height
Design	Square panel with white copy on a solid, single-color background

DRAFT

Sign Type F (Address Sign)	
Intent	Wall sign to direct emergency personnel
Content	Address number
Location	6 inches min. from building corner 6 inches min. from parapet
Quantity	As required
Orientation	Parallel to wall facing street or parking lot
Sign Size	Maximum sign height is 12 inches
Material	Individual numbers, applied. Cabinet signs are not permitted
Illumination	As required. Exposed neon is not permitted.
Letter Style	Designated project typeface.
Color	Sign copy color should contrast with background color

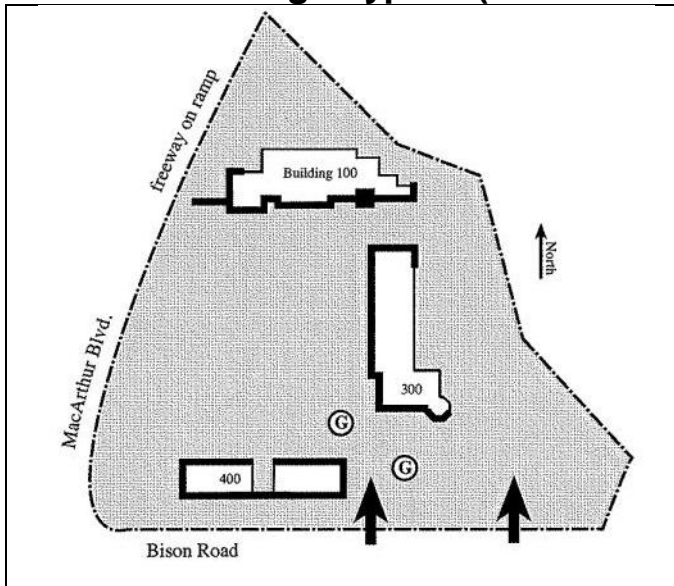
Sign Type F (Address Sign)

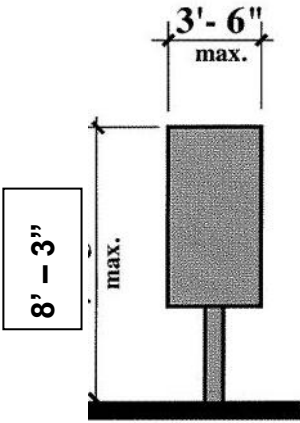
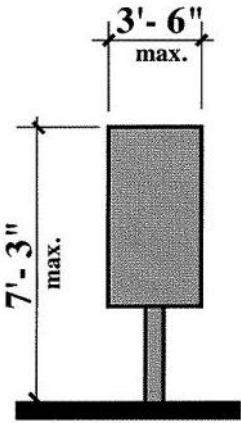


*Sign Type G (Vehicular-Oriented Directional Sign)	
Intent	A ground sign to promote onsite vehicular way finding
Content	Tenant names and arrows
Location	
Sign G1	East side of the westerly entry drive off of Bison Avenue
Sign G2	At the northwest corner of the main stop sign intersection off of the westerly entry drive
Quantity	Two
Sign Size	Each sign shall be 14.88 square feet (3.5 ft x 4.25 ft) in sign area.
Sign G1	8.25 feet in height, measured from the top of the sign to the base of the sign post. The ground covers within the existing landscaping area where Sign G1 will be located shall be trimmed regularly to maintain a minimum 3 foot site window between the bottom of Sign G1 to the top of the existing landscaping ground covers.
Sign G2	7.25 feet in height, measured from the top of the sign to the base of the sign post.
Margin Size	Minimum 2-inch wide blank space around sign copy
Letter/Logo Size	8 inches high max.
Material	Aluminum cabinet with routed or applied letters and arrows
Illumination	Concealed, external, low-profile, flood-lighting; or internally-illuminated in a manner that lights only the copy and the sign background. Exposed neon and/or raceways are not permitted.
Letter Style	Designated project typeface and registered trademarks are allowed.
Color	Sign copy color should contrast with background color.

*Proposed new sign

Sign Type G (Vehicular-Oriented Directional Sign)

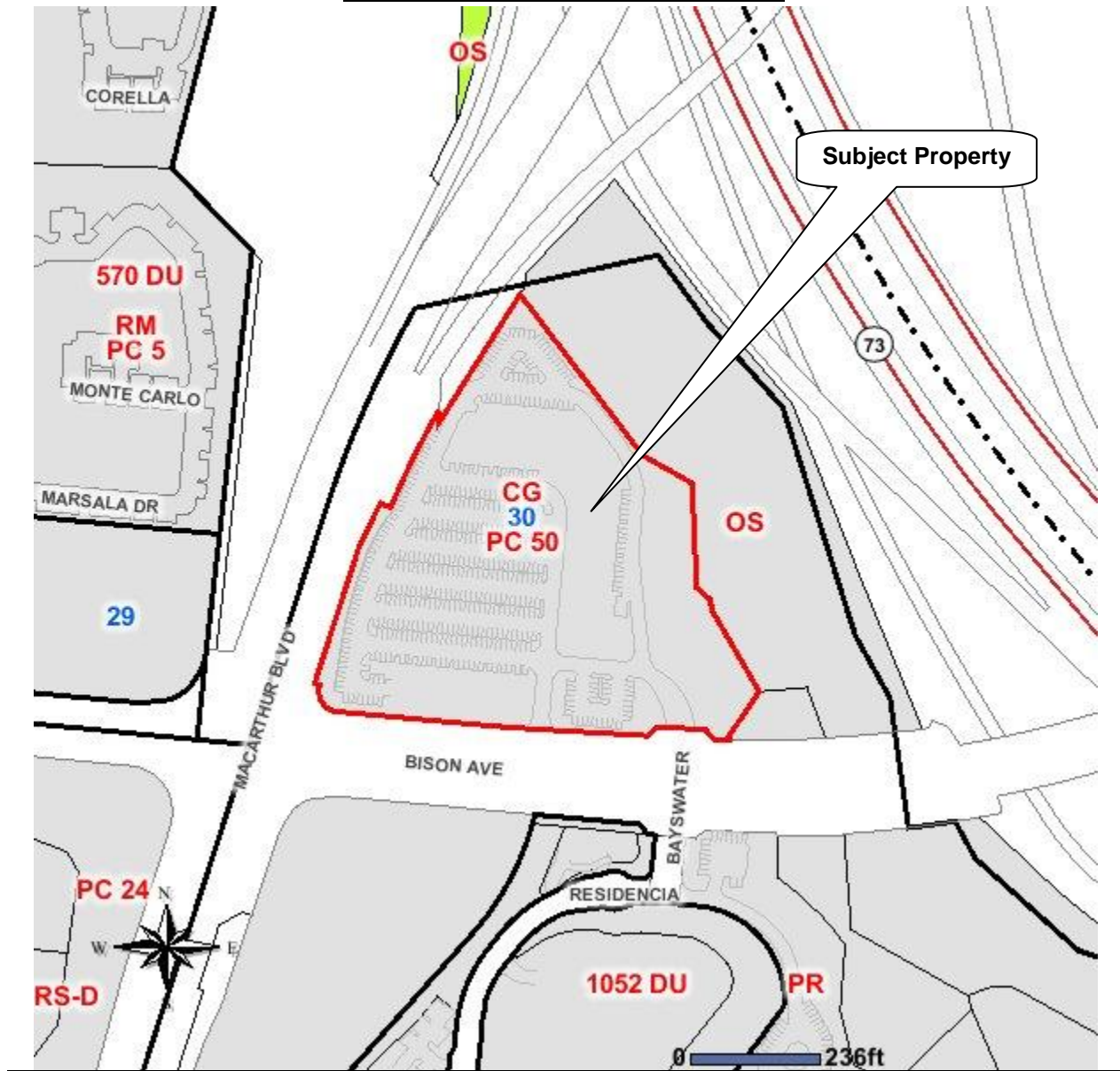


Sign Type G1	Sign Type G2
 <p>Typical Elevation</p> <p>The diagram shows a rectangular sign panel mounted on a post. The maximum height of the sign panel is 8' - 3". The maximum width of the sign panel is 3' - 6".</p>	 <p>Typical Elevation</p> <p>The diagram shows a rectangular sign panel mounted on a post. The maximum height of the sign panel is 7' - 3". The maximum width of the sign panel is 3' - 6".</p>

Attachment No. ZA 2

Vicinity Map

VICINITY MAP

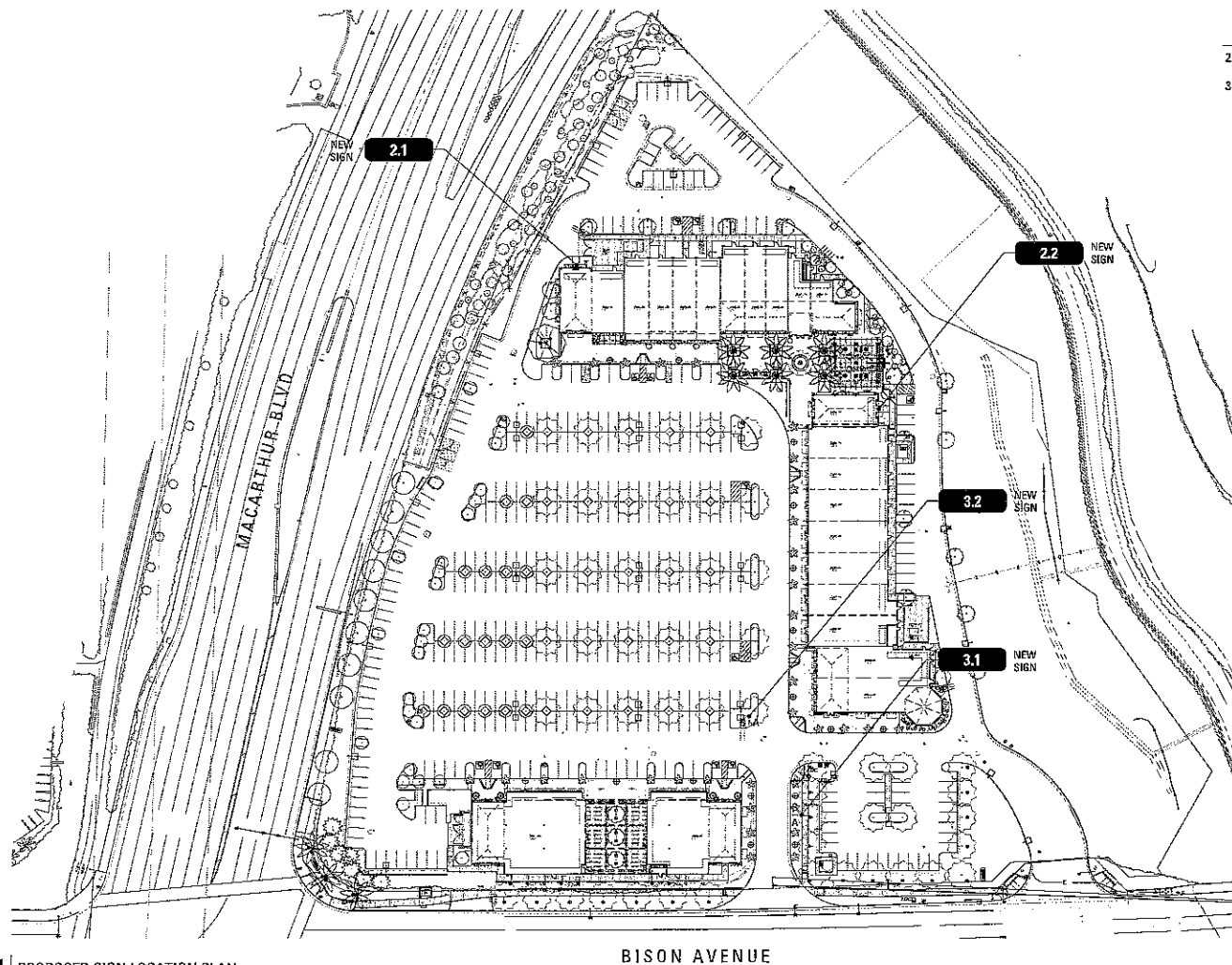


Modification Permit No. MD2013-006 &
Comprehensive Sign Program No. CS2013-002
(PA2013-055)

1300 Bison Avenue

Attachment No. ZA 3

Project Plans



SIGN LEGEND		QTY	TR. SLP. 272.3.01
2	PROJECT ID WALL SIGN	2 (NEW)	
3	VEHICULAR DIRECTIONAL	2 (NEW)	

1 PROPOSED SIGN LOCATION PLAN
SCALE: 1" = 100'



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**The Bluffs
Shopping Center**

Newport Beach, California
Project No. 13005

Irvine Company
Retail Properties

Documentation

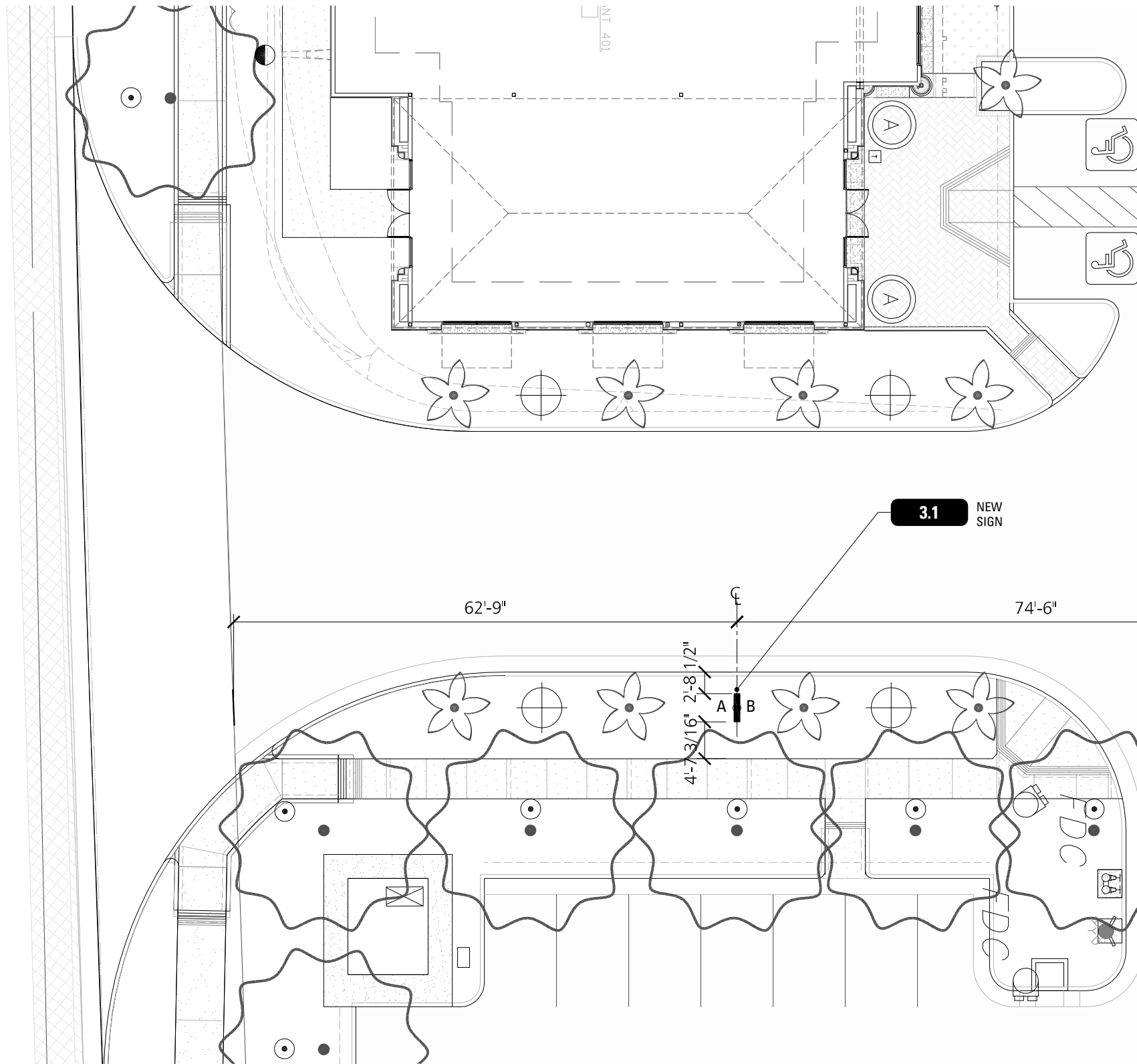
04.24.12 NP

**Proposed Sign
Location Plan**

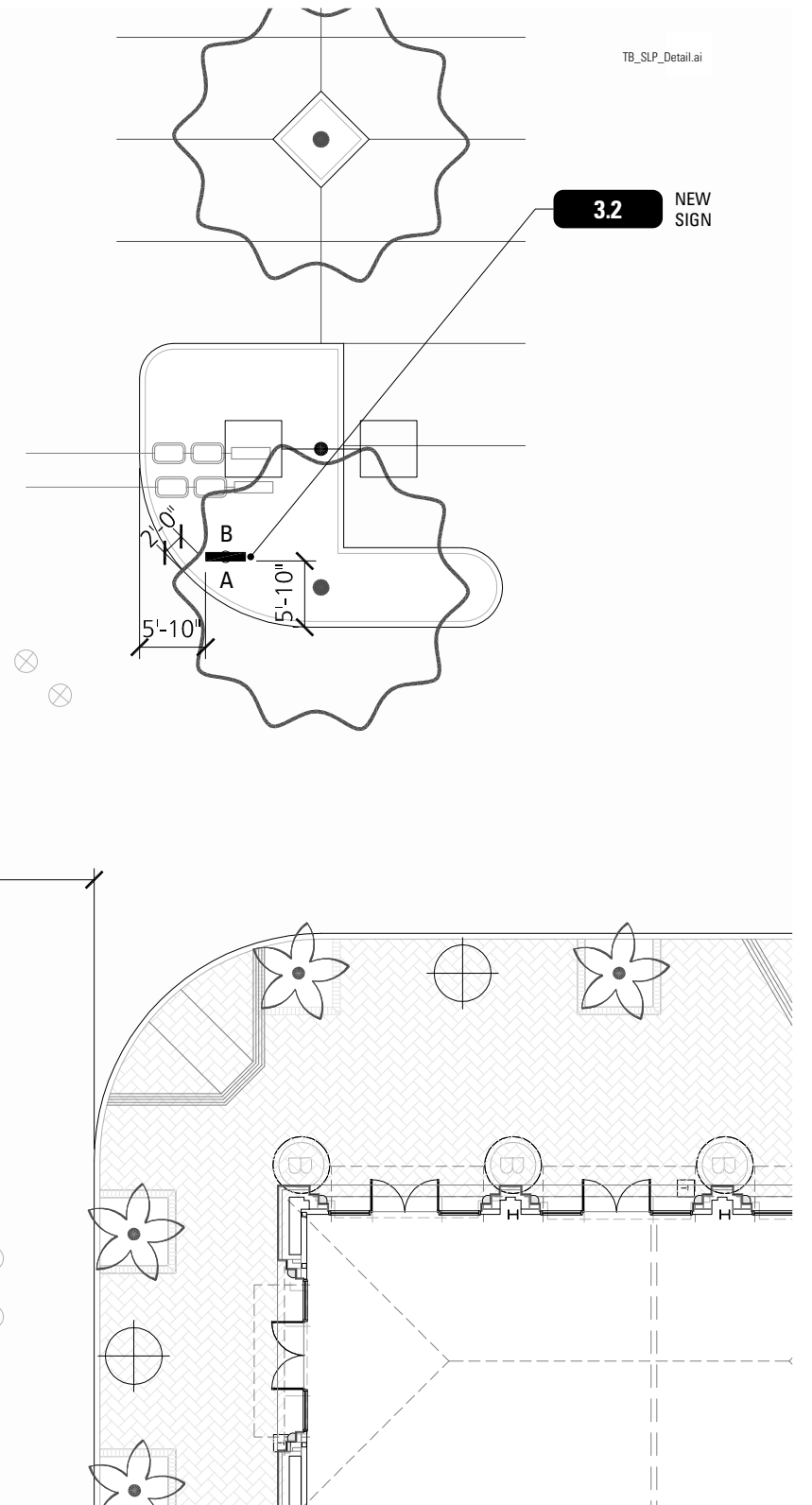
Sign Type 2
Project ID Wall Sign
Sign Type 3
Vehicular Directional

G1

BISON AVENUE



3.1 NEW SIGN



3.2 NEW SIGN

1 SIGN TYPE 3 - DETAILED SIGN LOCATION PLAN

SCALE: 1/16" = 1'-0"



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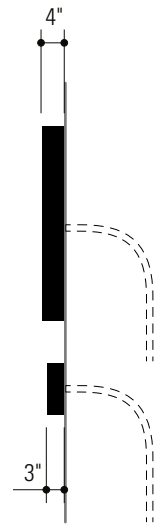
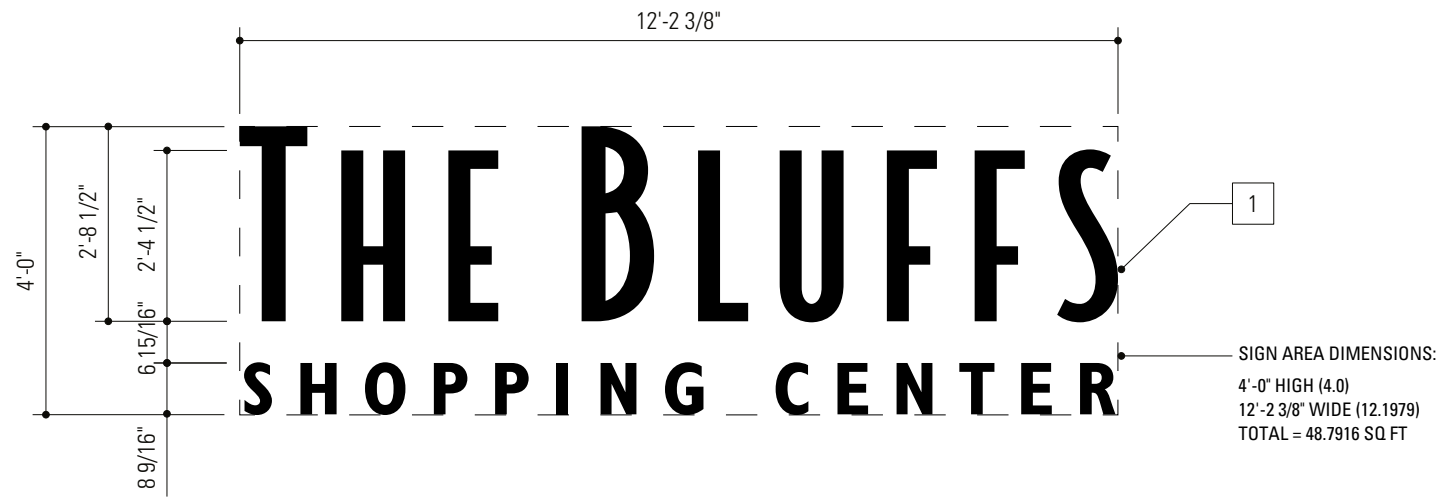
Documentation

04.24.13 NP

Proposed Sign Location Plan

Sign Type 3
Vehicular Directional

G2



NOTES

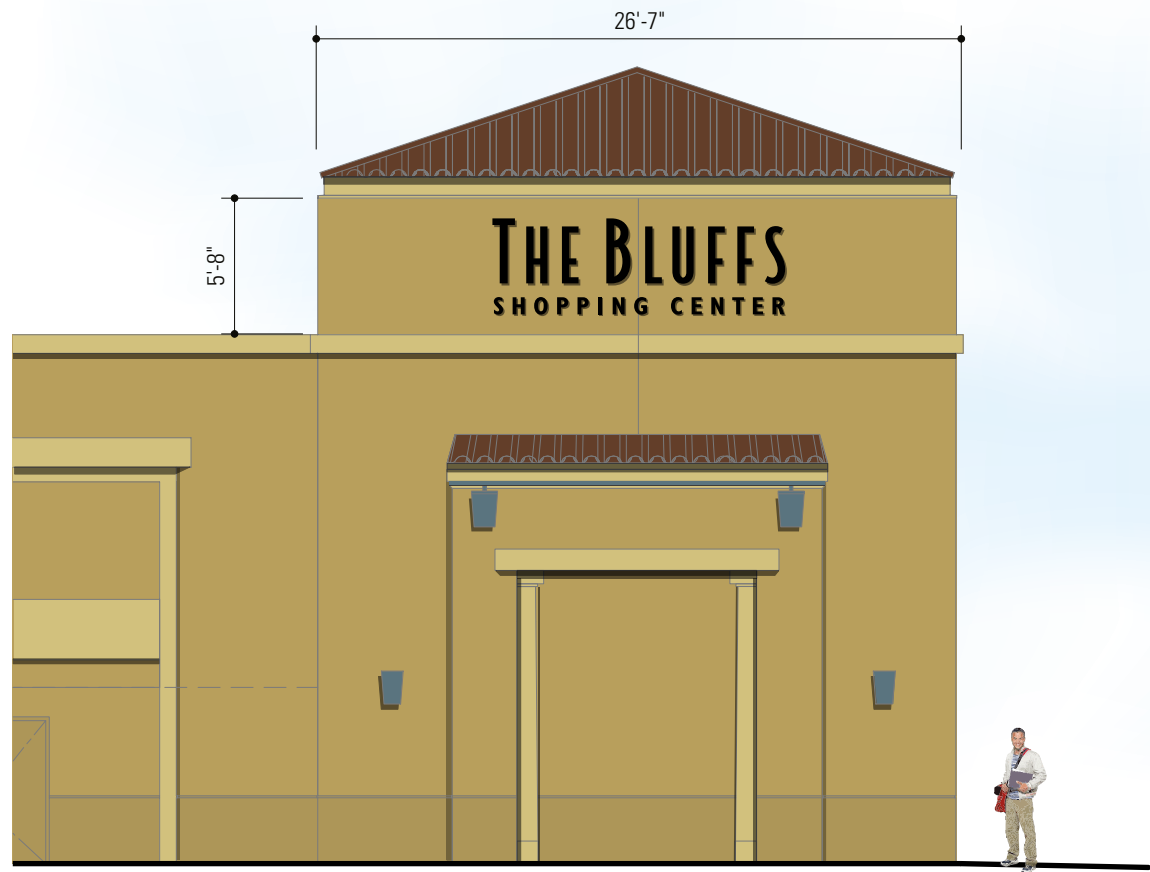
1 1/8" THK ALUMINUM FABRICATED CHANNEL LETTERS WITH DAY/NIGHT ACRYLIC FACE AND INTERNAL WHITE LED ILLUMINATION.

2 | DETAIL

SCALE: 3/8" = 1'-0"

3 | SIDE ELEVATION

SCALE: 3/8" = 1'-0"



1 | ELEVATION - SIGN TYPE 2 - SIGN NO. 2.1 - PROPOSED NEW SIGN

SCALE: 1/8" = 1'-0"



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Sign Type 2
Sign No. 2.1

Project ID Wall Sign

G3



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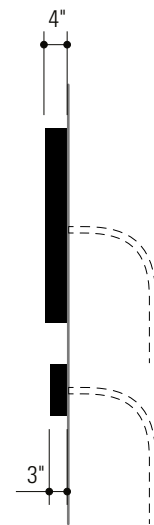
Documentation

04.24.13 NP

**Sign Type 2
Sign No. 2.1**

Project ID Wall Sign
Photo Simulation

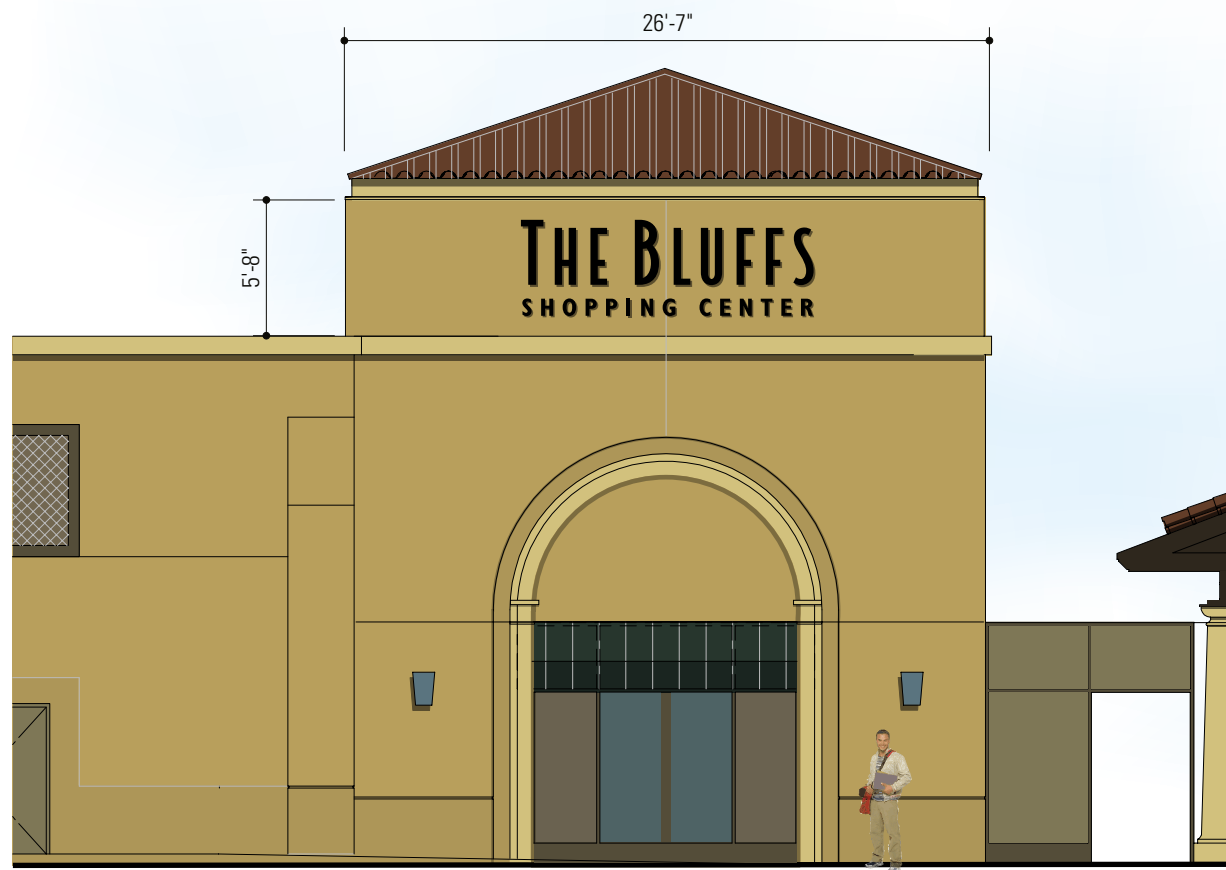
G4



NOTES		TB_ST2-2_ProjTenID_Wl.ai
1	1/8" THK ALUMINUM FABRICATED CHANNEL LETTERS WITH DAY/NIGHT ACRYLIC FACE AND INTERNAL WHITE LED ILLUMINATION.	

2 | DETAIL
SCALE: 3/8" = 1'-0"

3 | SIDE ELEVATION
SCALE: 3/8" = 1'-0"



1 | ELEVATION - SIGN TYPE 2 - SIGN NO. 2.2 - PROPOSED NEW SIGN
SCALE: 1/8" = 1'-0"



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Irvine Company
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04.24.13 NP

**Sign Type 2
Sign No. 2.2**

Project ID Wall Sign

G5



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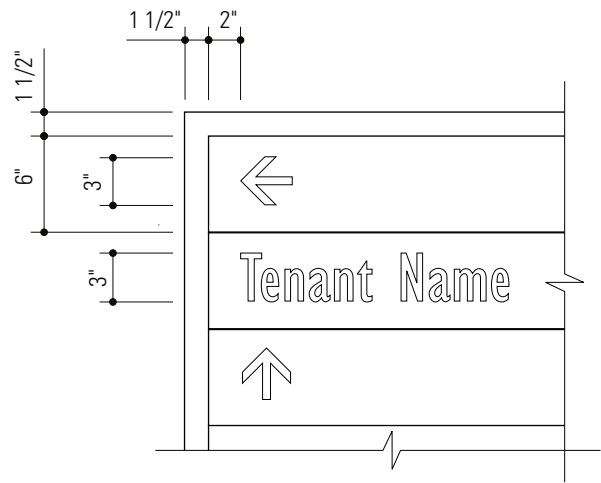
Documentation

04.24.13 NP

**Sign Type 2
Sign No. 2.2**

Project ID Wall Sign
Photo Simulation

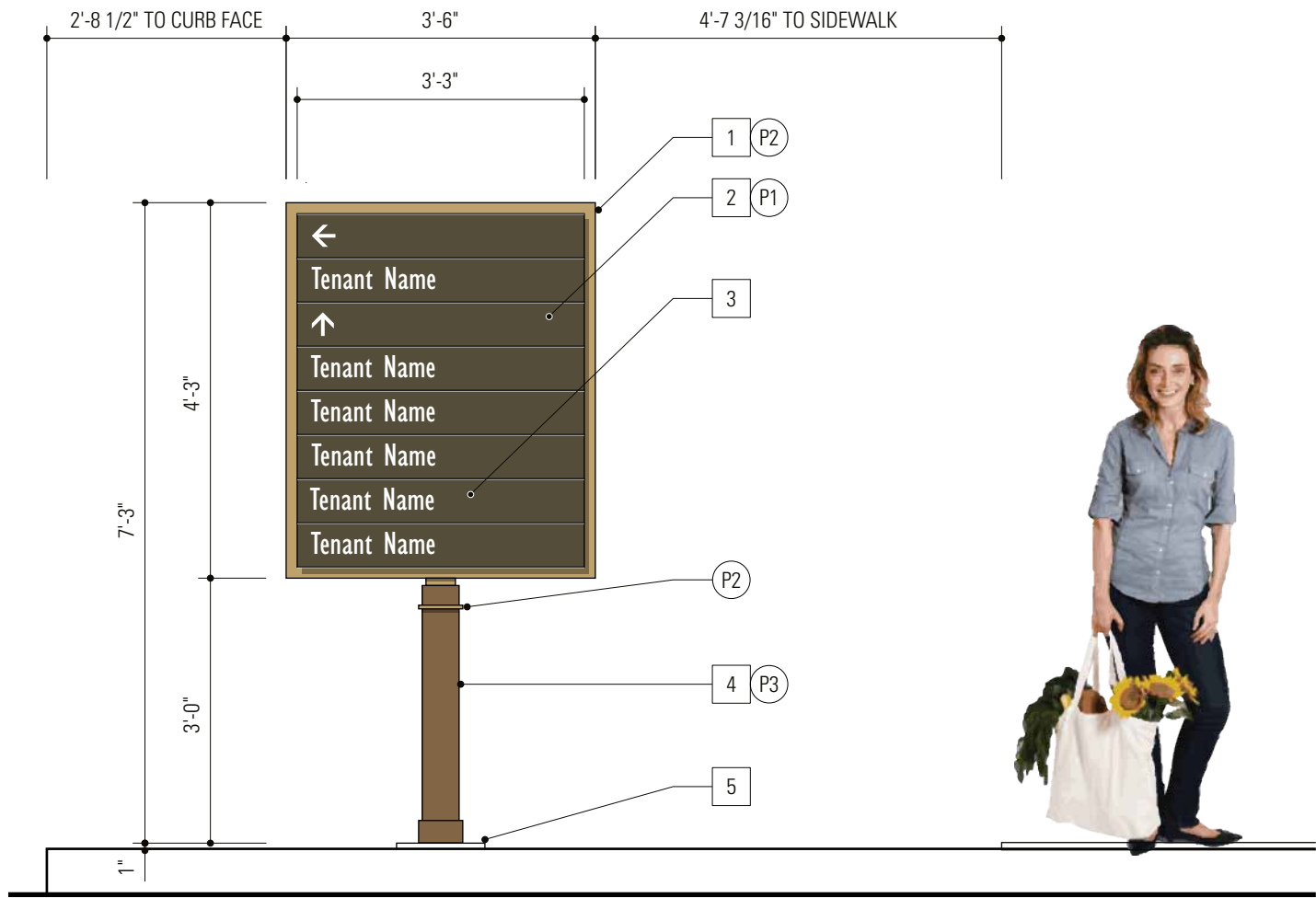
G6



4

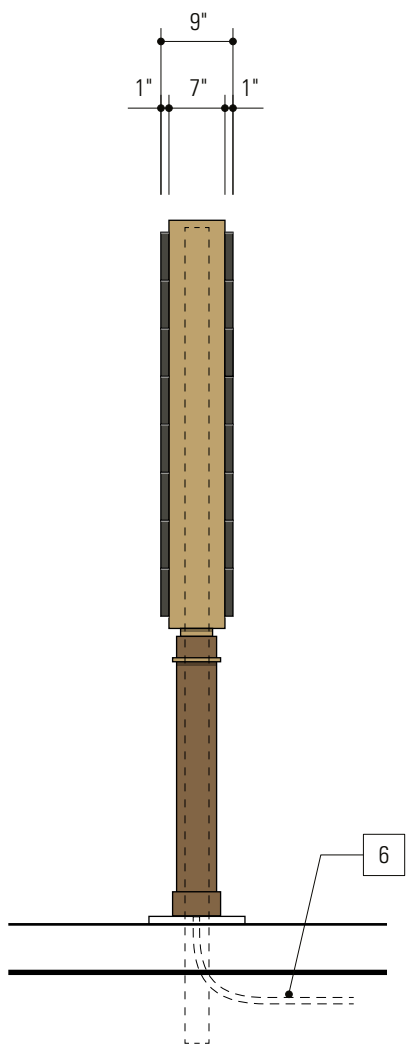
DETAIL

SCALE: 1" = 1'-0"



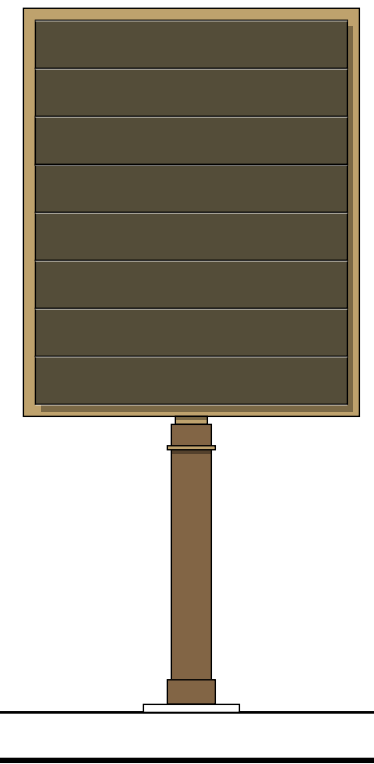
1 ELEVATION - SIGN TYPE 3 - SIGN NO. 3.1 - SIDE A - PROPOSED NEW SIGN

SCALE: 1/2" = 1'-0"



2 SIDE ELEVATION

SCALE: 1/2" = 1'-0"



3 SIGN NO. 3.1 - SIDE B

SCALE: 1/2" = 1'-0"

NOTES

TB_ST3-1_VehDir.ai

- 1 1/8" THK. FABRICATED ALUMINUM SIGN CABINET WITH INTERNAL WHITE LED ILLUMINATION AND PAINT FINISH
 - 2 1" DEEP X 1/8" THK. FABRICATED ALUMINUM CHANGEABLE TENANT PAN PANELS WITH PAINT FINISH AND ROUTED PUSH THRU FLUSH TRANSLUCENT WHITE ACRYLIC GRAPHICS
 - 3 ROUTED PUSH THRU FLUSH TRANSLUCENT WHITE ACRYLIC (LD GRADE) GRAPHICS - TYPE STYLE: GILL SANS CONDENSED
 - 4 FABRICATED ALUMINUM SQUARE POST WITH PAINT FINISH & INTERNAL SUPPORT POLE EMBEDDED INTO FOOTING
 - 5 3" CONTINUOUS CAST SMOOTH CONCRETE MOW STRIP AND CONCRETE FOOTING PER STRUCTURAL CALCS
 - 6 ELECTRICAL CONDUIT AND WIRING TO BE PROVIDED TO SIGN LOCATION BY SIGN FABRICATOR
- P1 MATTHEWS PAINT MP03078 - SPANISH MOSS - SATIN FINISH
- P2 BENJAMIN MOORE 1103 CAMEL BACK - SATIN FINISH
- P3 BENJAMIN MOORE 1015 COWBOY BOOTS - SATIN FINISH



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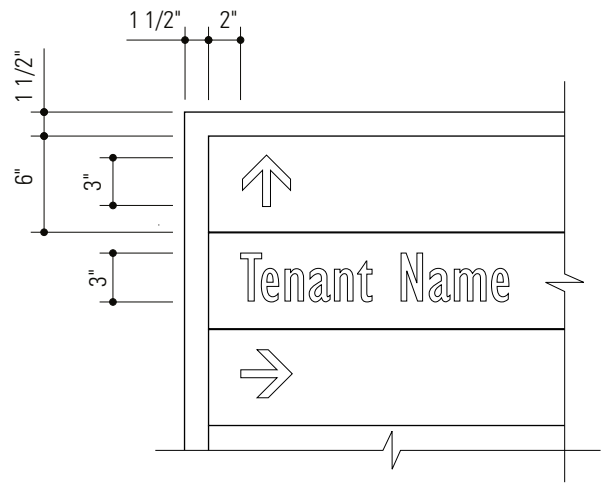
Documentation

04.24.13 NP

Sign Type 3 Sign No. 3.1

Vehicular Directional

G7



4

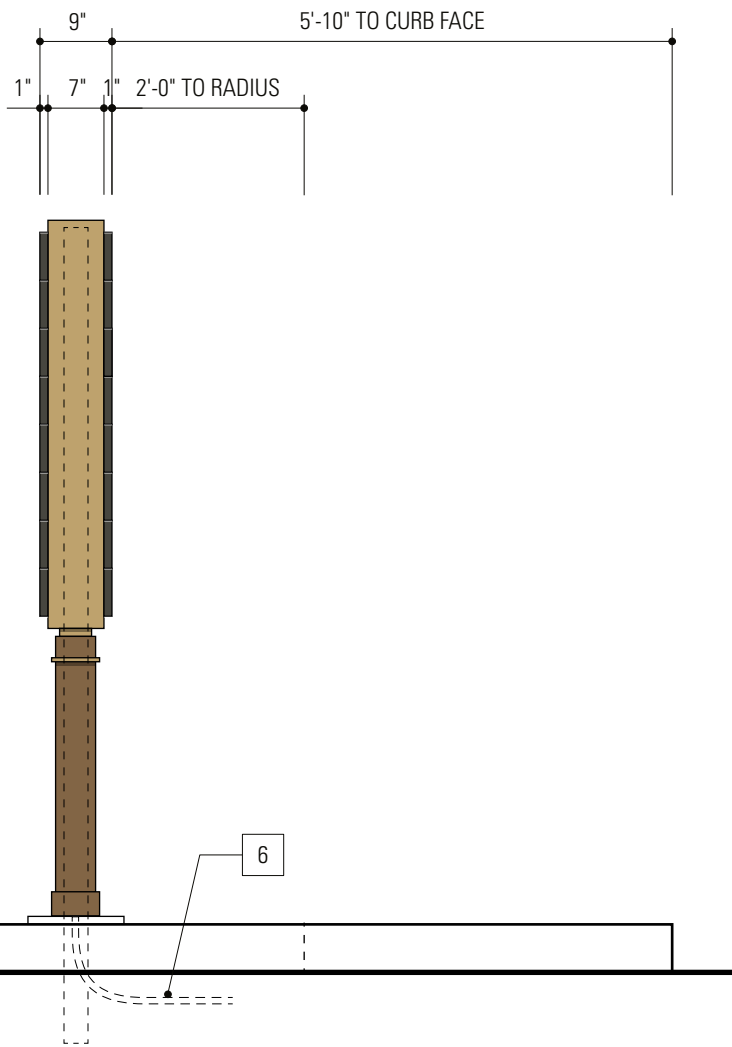
DETAIL

SCALE: 1" = 1'-0"



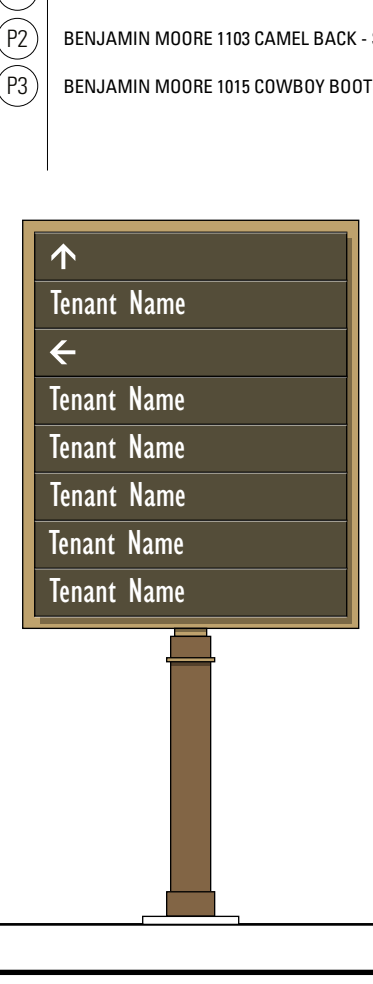
1 ELEVATION - SIGN TYPE 3 - SIGN NO. 3.2 - SIDE A - PROPOSED NEW SIGN

SCALE: 1/2" = 1'-0"



2 SIDE ELEVATION

SCALE: 1/2" = 1'-0"



3 SIGN NO. 3.1 - SIDE B

SCALE: 1/2" = 1'-0"

NOTES

TB_ST3-2_VehDir.ai

- 1 1/8" THK. FABRICATED ALUMINUM SIGN CABINET WITH INTERNAL WHITE LED ILLUMINATION AND PAINT FINISH
- 2 1" DEEP X 1/8" THK. FABRICATED ALUMINUM CHANGEABLE TENANT PAN PANELS WITH PAINT FINISH AND ROUTED PUSH THRU FLUSH TRANSLUCENT WHITE ACRYLIC GRAPHICS
- 3 ROUTED PUSH THRU FLUSH TRANSLUCENT WHITE ACRYLIC (LD GRADE) GRAPHICS - TYPE STYLE: GILL SANS CONDENSED
- 4 FABRICATED ALUMINUM SQUARE POST WITH PAINT FINISH & INTERNAL SUPPORT POLE EMBEDDED INTO FOOTING
- 5 3" CONTINUOUS CAST SMOOTH CONCRETE MOW STRIP AND CONCRETE FOOTING PER STRUCTURAL CALCS
- 6 ELECTRICAL CONDUIT AND WIRING TO BE PROVIDED TO SIGN LOCATION BY SIGN FABRICATOR

- P1 MATTHEWS PAINT MP03078 - SPANISH MOSS - SATIN FINISH
- P2 BENJAMIN MOORE 1103 CAMEL BACK - SATIN FINISH
- P3 BENJAMIN MOORE 1015 COWBOY BOOTS - SATIN FINISH



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The Bluffs Shopping Center

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Project No. 13005

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Sign Type 3
Sign No. 3.2

Vehicular Directional

G8



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Newport Beach, California
Project No. 13005

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04.10.13 NP

**Sign Type 3
Sign No. 3.1
Side A**

Vehicular Directional -
Photo Simulation

G8



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**Sign Type 3
Sign No. 3.1
Side B**

Vehicular Directional -
Photo Simulation

G9



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**Sign Type 3
Sign No. 3.2**

Vehicular Directional -
Photo Simulation

G10